

DESIGN GUIDELINES

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# THE GROVE

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A CUSTOM BUILT COMMUNITY IN  
OAKLAND, FLORIDA

11.06.2023 (DRAFT)



## VISION FOR THE GROVE

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The Grove is a luxury master planned community located in Oakland, Florida, nestled in the heart of Central Florida. The community will be composed of 44 lots ranging from 8,750 SF to 10,800 SF, providing plenty of space for homeowners to build their dream homes. The spacious lots are surrounded by lush common areas, which incorporate meeting zones and water features, creating a tranquil and serene environment for homeowners to enjoy. In addition, The Grove features walking trails, bike paths, and parks, making it the perfect place for families and outdoor enthusiasts.

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**OWNER / DEVELOPER INFORMATION TO BE INSERTED HERE**

Prepared by CPH, Incorporated for New Horizons Investments, LLC

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# INTRODUCTION

## PURPOSE OF THE DESIGN GUIDELINES

At The Grove, we strive to create a community with a unique and cohesive identity through housing design. Our guidelines aim to ensure that all developments meet a high standard of design, creating a visually appealing and functional living environment for our residents.

The following themes play a crucial role in defining the style and standards of homes within the community:

- Emphasis on cohesive design materials to create a warm and inviting atmosphere.
- Encouragement of outdoor living with the use of covered patios, porches, and balconies.
- Promotion of a cohesive and harmonious streetscape by adhering to consistent design elements.
- Flexibility in individual home design to allow for personalization and customization while maintaining the overall character and quality of the community.

It's important that all development at The Grove complies with these guidelines to maintain the community's overall vision. However, in exceptional situations where variations to the guidelines may be necessary, any proposed changes will be carefully evaluated to ensure that they contribute positively to The Grove's vision.

The Grove's Design Guidelines are not a substitute for any state or local government building code requirements. It is the responsibility of the owners General Contractor and Architects to ensure that the house design adheres to the aforementioned codes.

### Grove Review Board

The Grove Review Board has been created to guide and evaluate the architectural quality within the community. All proposed building works including homes, fencing, and landscaping are required to be reviewed by the Review Board.

## APPROVAL PROCEDURE

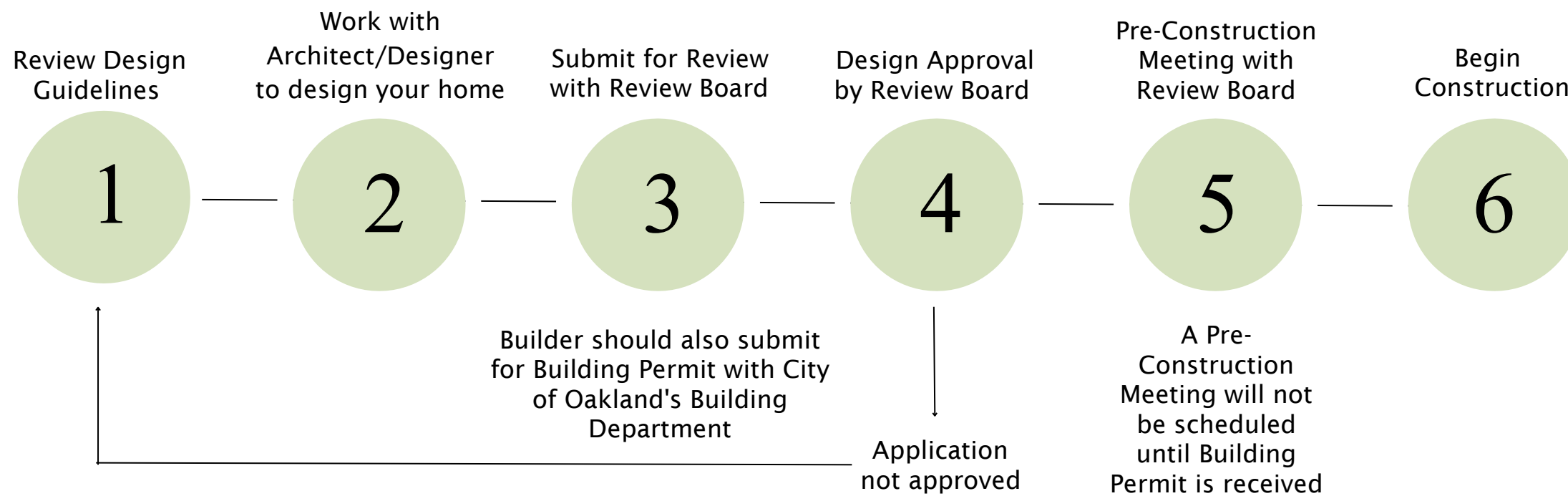
Prior to construction an application for Design Approval must be made to the Grove Review Board for a review of plans and materials in accordance with the Design Guidelines.

Design approval does not exempt the plans from any building or statutory regulations or infer compliance from applicable planning or building regulations. Separate approval must be obtained from relevant authorities.

The Design Application must include the following documentation:

- Site Plan
  - Sitting of dwelling setbacks
  - Fence locations, height, and finish
  - Driveway location and finish
  - Ancillary structures, items, services
  - Existing elements (trees, light poles, etc.)
  - Proposed pool and hardscape
  - Any A/C, pool, or other equipment
- Landscaping Plans
  - Overall layout
  - Plant selections
- Elevations
  - Exterior materials
  - Building heights
  - Roof information and material
- Material Sample Board
- Floor Plan/s

APPROVAL TIMELINE



# COMMUNITY STANDARDS

Community standards guide the arrangement and design of the buildings, which in turn shape and define the civic spaces of The Grove including parks, greens, squares, and thoroughfares.

All building and landscape plans must be submitted to the HOA Designated Project Architect and The Grove Design Review Board established pursuant to The Declaration of Covenants, Conditions and Restrictions of the HOA for review of their conformity to the Design Guidelines and Architectural Standards. Final approval shall be through The Grove Design Review Board and any deviations from the Design Guidelines and Architectural Standards shall be based on unique lot conditions and/or architectural merit.

## BUILDING COVERAGE

The maximum building coverage shall not exceed sixty (60) percent of the land area of the lot.

Building gross floor area shall be defined as the sum of the gross horizontal areas of the floors of all buildings, principal and outbuildings, measured from the exterior surface of the walls or columns of roofed structures. The principal structure's second story, half story, or any floor above the ground floor level are excluded from gross floor area. Basement areas or other below-grade floor areas are to be excluded from the gross floor area when more than one-half of the basement's floor to ceiling height is below the final lot grade or street curb level, whichever is higher.

The ground floor area of an outbuilding is exempt from the maximum gross floor area up to 800 square feet. Any additional square feet on the ground floor beyond the first 800 square feet must be included in the gross floor area calculation. An outbuilding's second story, half story, or any floor above the ground floor level are excluded from gross floor area.

All open porches, lanais, verandas, porte cocheres, or other attached structure that face the street are excluded from the gross floor area up to a maximum of 400 square feet. The gross floor area in excess of 400 square feet of these structures that face the street shall be included in the gross floor area calculation.

Screened pool enclosures are exempt from maximum gross floor area.

## YARD & OPEN SPACE

All Buildings must be set on the lot relative to the built-to zones and setbacks specified for each lot type. Adjustments may be required if easements exist on lot, with approval of The Grove Design Review Board.

The maximum coverage of all impervious surfaces on a lot shall not exceed seventy (70) percent of the land area of the lot. However, in no case shall the impervious surface area exceed the maximum allowable impervious surface area as provided in the St. Johns River Water Management District (SJWMD) permit, as applicable.

Impervious surface areas include, but are not limited to, the footprint of all buildings, driveways, roofed areas, walkways, patios, paver pool decks, and any impervious surfaces. However, impervious surface area does not include the water surface area of a swimming pool or wood decks with a gap between the boards that is over soil.

Stormwater shall not shed to neighboring lots. Stormwater to be directed to the right of way or drainage easements, or the SJWMD permitted stormwater management system, as applicable.

Porches, stoops, chimneys, balconies, cantilevers up to three feet, and bay windows may encroach within the construction setback or build-to zones.

Stoops, chimneys, balconies, cantilevers up to three feet, and bay windows may encroach within the construction setback or build-to zones.

## PORCHES

Buildings must have a covered porch that is a minimum of 8 feet in depth, however a 10 foot or deeper porch is encouraged for the creation of an outdoor room.

A 12' x 14' porch is more useable as a room than an 8' x 21' porch, while both are 168 square feet.

The porch is considered as important as interior spaces.

Porches are allowed to encroach the front and side street setbacks up to a maximum of 6 feet.

## OUTBUILDINGS

Outbuildings are secondary structures which may be garages, guest cottages, studios, or other accessory structures.

The maximum height of an outbuilding, measured from grade to the peak of the roof, must be two (2) feet lower than the height of the principal structure's roof, measured from grade to the peak of the roof

An outbuilding is allowed to be an accessory dwelling unit (ADU). ADU's will not require special exception under Oakland's Land Development Code (LDC). Instead, proposals will be reviewed and approved by The Grove Design Review Board.

Outbuildings are encouraged to be located at the corners of a property. These structures form the private yard zone. Fences and walls connect back to building corners to reduce long fence lines. Exceptions are made for pergolas, cabanas, or other open-air structures.



## HEIGHT

Entry floors for homes must have a minimum elevation of 24 inches above grade at the position of the front door. Varying topography of individual lots and lot types may create other parameters that may adjust floor elevation and will require review and approval by the Design Review Board.

Two-story homes must have a minimum interior ceiling height of 10 feet on the first and second floors.

Outbuildings shall be exempt from the 10 feet minimum ceiling height and 24" elevation of the entry door requirements, pending The Grove DRB approval of the outbuilding design.

One and a half-story homes must have a minimum principal story ceiling height of 10 feet. A half-story is defined as any occupiable area within the volume of a roof and/or dormer/s.

One-story homes must have a minimum interior ceiling height of 10 feet.

Maximum building height is 40 feet as measured to the peak from the average grade at the base of the structure.



# LOT TYPES

Lots in The Grove have varying views, topography and context. These attributes form the basis for building placement and orientation.

## LOT TYPE A

Lot Type A is an internal lot measuring 70' in width, accessed via a front facing drive.

Lots 14, 15, 16, 17, 18, and 19 are Type A.

## LOT TYPE B

Lot Type B is a mix of internal and corner lots, measuring between 76' and 82' in width. Internal lots are accessed via a front facing drive. Corner lots may be accessed either via a front facing drive or a side facing drive.

Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13, 21, 22, 23, 24, 25, 26, 27, 29, 30, 31, 32, 33, 34, 35, 38, 39, 42, and 43 are Type B

## LOT TYPE C

Lot Type C is a corner lot measuring between 84' and 87' in width, accessed via either a front facing drive or a side facing drive.

Lots 8, 20, 36, 37, 40, 41, and 44 are Type C.

## LOT TYPE D

Lot Type D is either an internal lot or a corner lot measuring between 106' and 115' in width. The internal lot is accessed via a front facing drive. The corner lot may be accessed either via a front facing drive or a side facing drive

Lots 7 and 28 are Type D.

## LOT TYPE A

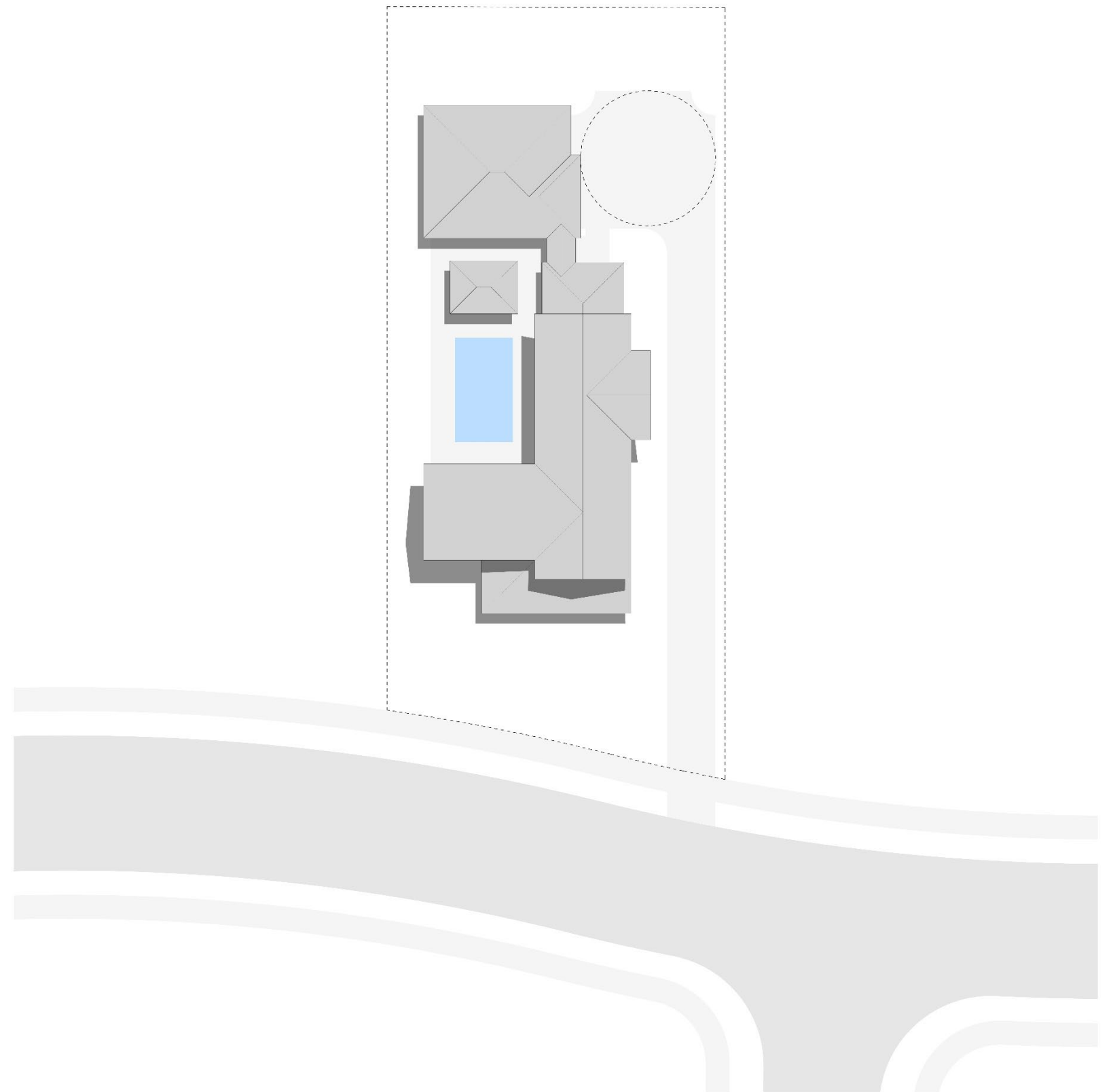
Type A is accessed via a front-facing drive. The garage may be attached or detached. The garage is located in either the front or rear of the property

### Principal Setbacks

Front Setback:	20'-0"
Side Setback:	7'-6"
Rear Setback:	25'-0",
Street Side Setback:	10'-0"

### Outbuilding Setbacks

Front Setback:	20
Side Setback:	5'-0"
Rear Setback:	5'-0" (10'-0" for two-story outbuilding)
Street Side Setback:	5'-0" (10'-0" for two-story outbuilding)



## LOT TYPE B

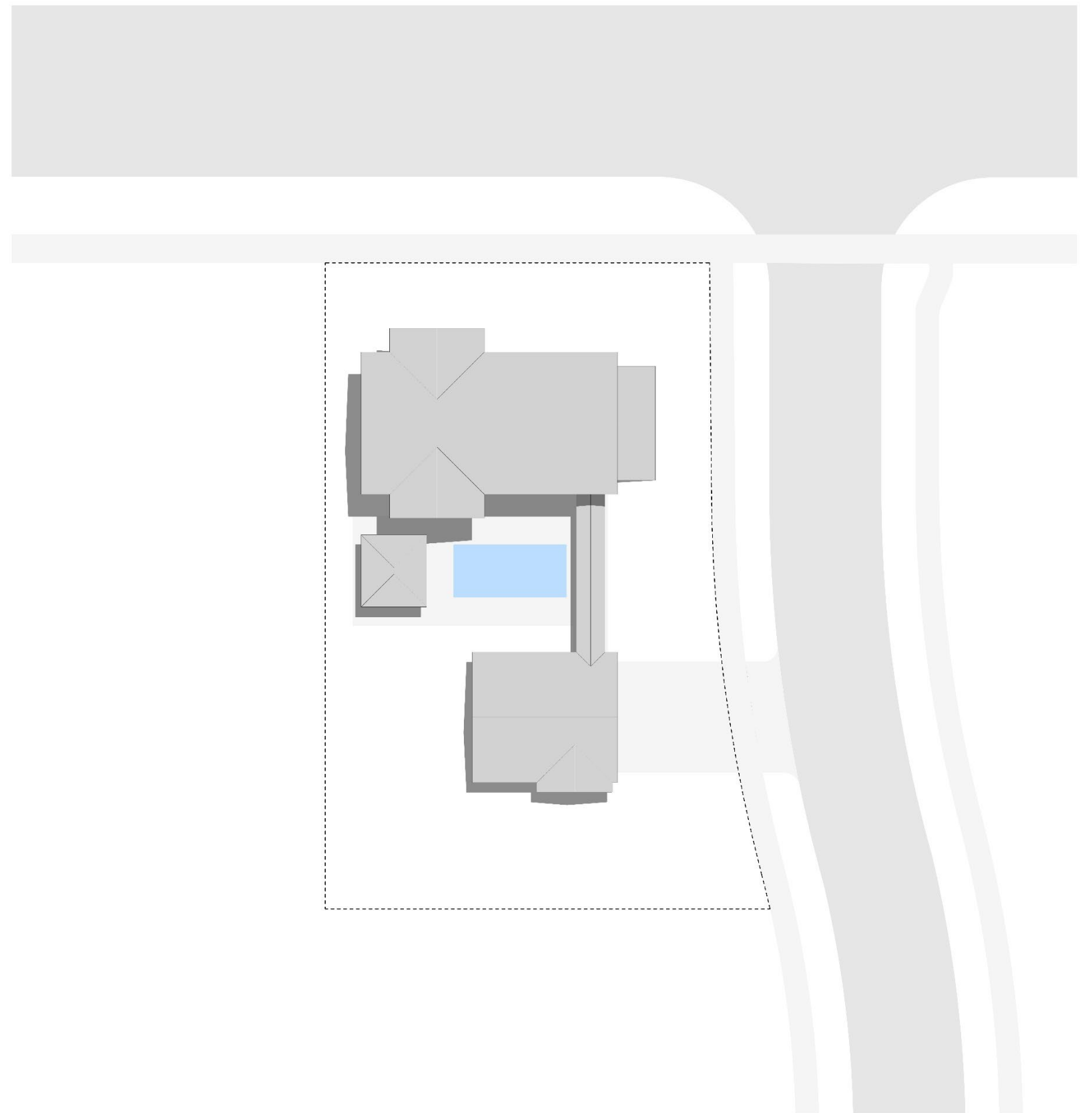
Type B is accessed either via a front-facing drive or a side-facing drive. The garage may be attached or detached. The garage is located in either the front, street side or rear of the property

### Principal Setbacks

Front Setback:	20'-0"
Side Setback:	7'-6"
Rear Setback:	25'-0",
Street Side Setback:	10'-0"

### Outbuilding Setbacks

Front Setback:	20
Side Setback:	5'-0"
Rear Setback:	5'-0" (10'-0" for two-story outbuilding)
Street Side Setback:	5'-0" (10'-0" for two-story outbuilding)



## LOT TYPE C

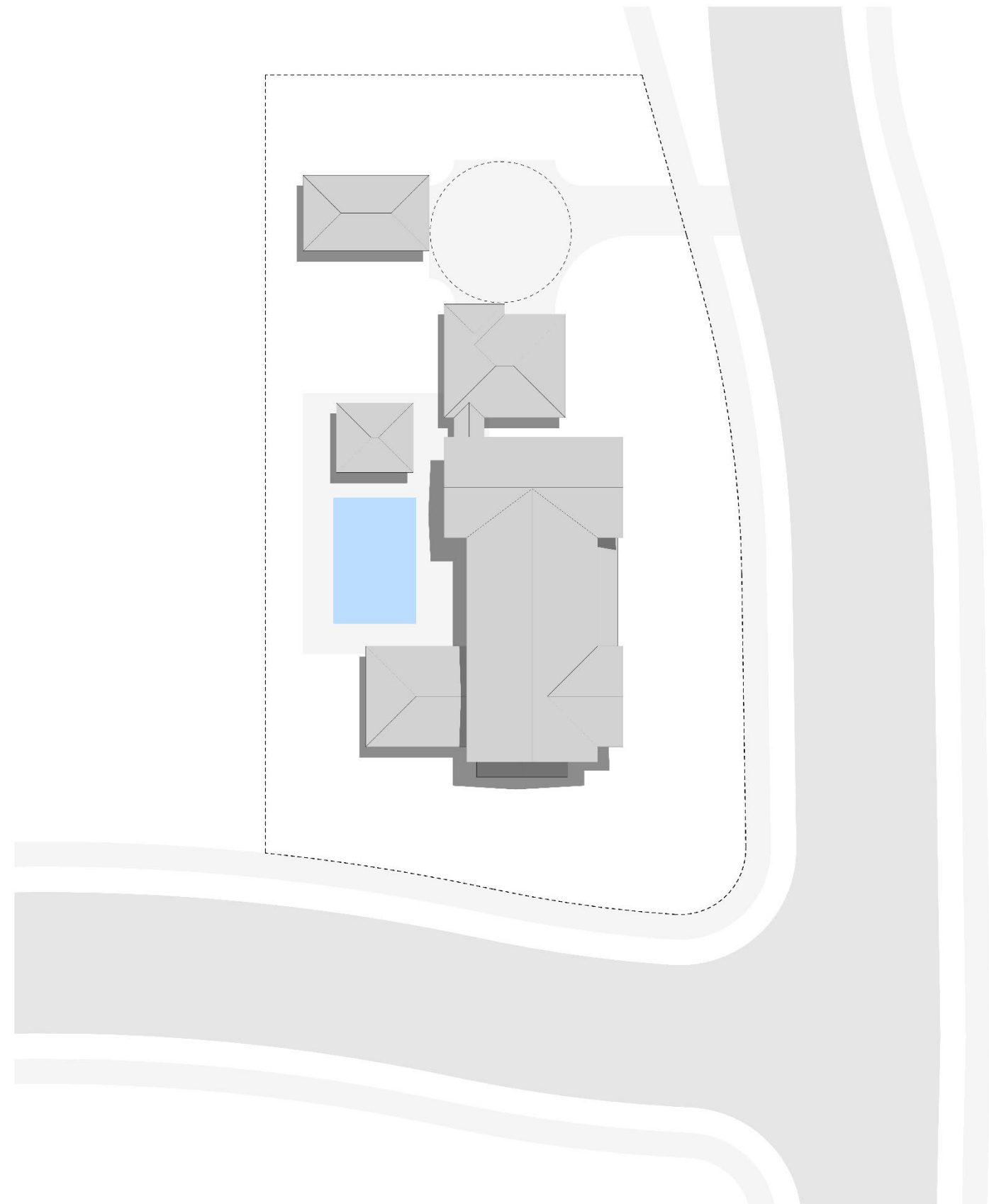
Type C is accessed either via a front-facing drive or a side-facing drive. The garage may be attached or detached. The garage is located in either the front, street side, or rear of the property

### Principal Setbacks

Front Setback:	20'-0"
Side Setback:	7'-6"
Rear Setback:	25'-0",
Street Side Setback:	10'-0"

### Outbuilding Setbacks

Front Setback:	20
Side Setback:	5'-0"
Rear Setback:	5'-0" (10'-0" for two-story outbuilding)
Street Side Setback:	5'-0" (10'-0" for two-story outbuilding)



## LOT TYPE D

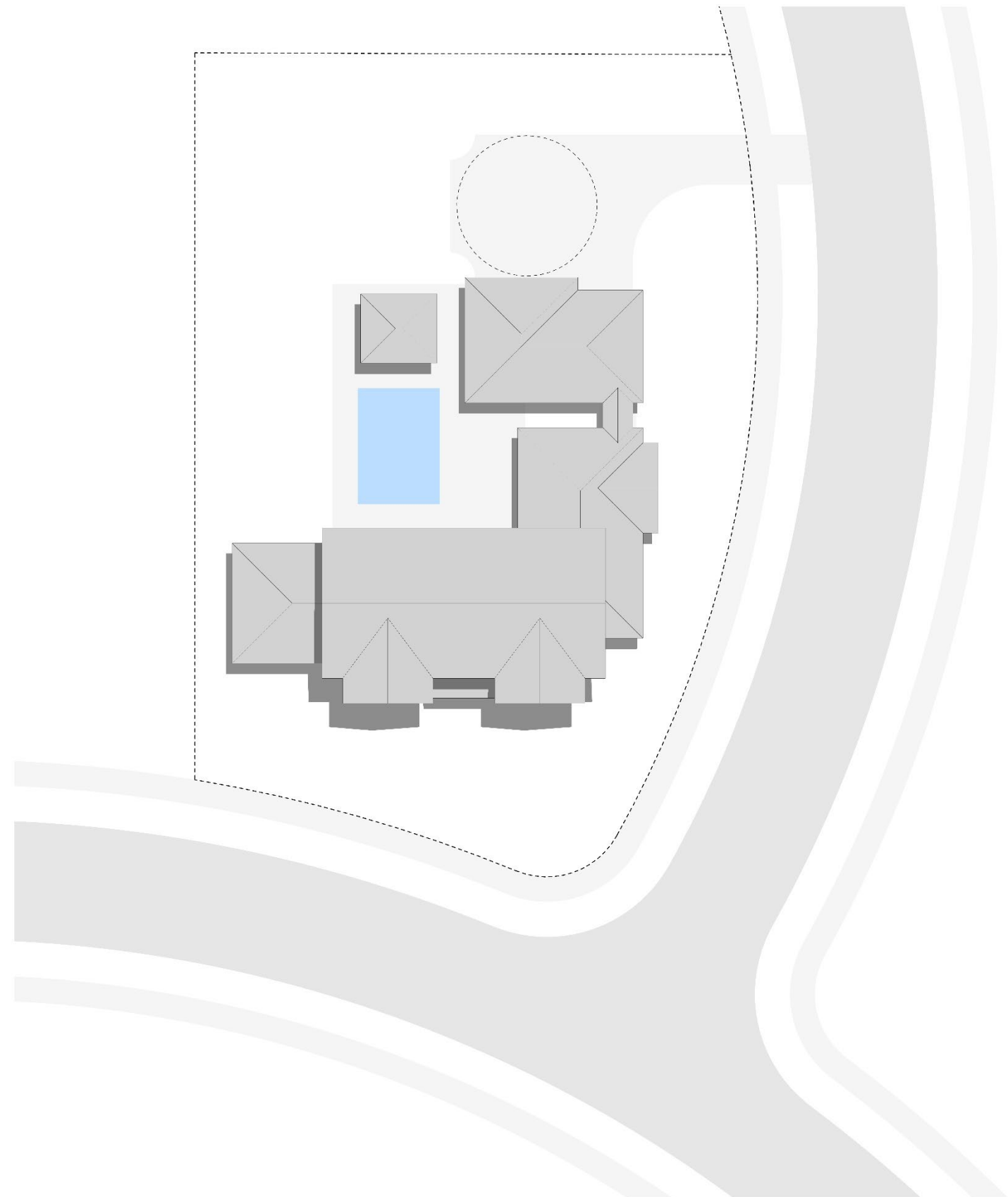
Type D is accessed either via a front-facing drive or a side-facing drive. The garage may be attached or detached. The garage is located in either the front, street side or rear of the property

### Principal Setbacks

Front Setback:	20'-0"
Side Setback:	7'-6"
Rear Setback:	25'-0",
Street Side Setback:	10'-0"

### Outbuilding Setbacks

Front Setback:	20
Side Setback:	5'-0"
Rear Setback:	5'-0" (10'-0" for two-story outbuilding)
Street Side Setback:	5'-0" (10'-0" for two-story outbuilding)





# DESIGN STANDARDS

The following design standards serve as a guide to inform builders during the design process. Final specifications will be selected based on individual preferences and needs. Any required specifications for design elements will be noted accordingly.

## ARCHITECTURAL CHARACTER

Homes will incorporate a contemporary rustic or coastal style with the use of clean, simple lines and coordinating finishes and materials. Approved styles are British West Indies, Florida Vernacular, Florida Coastal, and French Farmhouse. Other styles and variations may be permitted provided they are similar in architectural character to the aforementioned styles and conform to the design standards of The Grove, pending review from the ARB.

### Facade Variation

Homes with similar or identical facades will not be permitted within three (3) lots of one another. The following design elements will need to be varied:

- House color palette
- Landscape design
- Building footprint

Where a conflict arises, preference will be given to the first submitted set of plans.

## ARCHITECTURAL STANDARDS

### Foundations

Foundation walls, piers, and chimney to be brick or stucco. Piers to protrude 4" from column edge to visually support column base and floor frame.

### Walls & Chimney

Masonry walls shall have projecting water table to grade.

Articulation of the exterior wall is required every 36 feet, with a minimum two-foot offset. Chimneys, porches, or bay windows may satisfy this requirement if they are a minimum 6 feet in width.

Chimney shall extend to grade.

Stem wall may be brick veneer or stucco painted grey from The Grove paint colors.

### Balconies

Balconies must be visually supported with brackets.

**MATERIAL & FINISHES**

Homes shall reflect the character of the community in finish selection. The following finishes are permitted:

**Brick & Stone**

- Brick or Brick Veneer that is only natural color, or limewashed, or painted white, or tinted white mortar.
- Stacked Stone; dry-stacked with flush mortar joints

**Siding**

No extruded material such as vinyl or aluminum soffit are allowed. Siding must be smooth finish, grain is not allowed.

Mitered corners are preferred, but when not used a minimum 5 ½” corner shall be installed.

- Lap siding with either mitered corners or corner boards
- Shaker Style Siding
- Board and Batten Siding

**Stucco**

- Stucco: 2-coat system on masonry, integral color, with a smooth or sand finish.



## PRIMARY FACADE DESIGN

The primary facade must be articulated to prevent a flat and uninteresting interface with the public domain. All homes must address street frontage and incorporate the following within the primary façade:

- 1 Visible and identifiable entry
- 2 door Covered entry porch
- 3 Architectural detail appropriate to the style of community
- 4 Minimum of two (2) different wall materials
- 5 A color palette of no more than three (3) colors or color shades
- 6 Landscaping

Secondary facades that face streets or public areas must incorporate similar features as the primary façade. Finishes and trim quality shall be incorporated on all rear and side facades. Some modifications can be made but may require additional review from the Review Board.

The rear façade shall incorporate a covered patio.



## ROOF

Roof Design shall be treated as a key component to the overall design of the home. Simple hip and gable roof forms are preferred and should be combined with dormers, overhangs, or porch elements to create an attractive street elevation. Roof forms shall consist of the following:

- Standing Seam or Shingle style finish. (See Materials and Finishes for range of accepted colors). Exceptions may be made provided roof material and color is stylistically consistent with design of the home.
- Differences in roof material is allowed but not encouraged.
- Ancillary flat roofs are permitted.

Chimneys are permitted for both function and aesthetic purposes. Finish and size to align with overall home design.

Ancillary roof equipment such as satellite dishes, antennae, etc. are not permitted.

Dormers must be a minimum 2 feet from side walls. Minimum eave depth is 12" and are style dependent.

### Porch Roofs

Front porches must have a separate roof structure that complements the design of the main roof structure. This is encouraged but not required at secondary covered porches.

### Eaves and Soffits

All roof forms to include eaves a minimum of 1'-6" in depth.

Preferred soffit material along all facades and porches is Hardiboard or Tongue & Groove Wood. Wood to be Cypress or Cedar in 1x4 or 1x6 sizes. All soffits shall be painted.

Fascia boards should match the wall or roof finish and are style-dependent. Contrasting colors are prohibited.

Open eaves with rafter tails are permitted.

Pork chop or flush eaves are not allowed. Eave returns shall utilize classical detailing and slope.

### Gutters and Downspouts

Gutters are required and shall be half-round with round downspouts. These are to blend with the overall facade color. Contrasting colors are prohibited.



PORCHES

A fully covered porch is required to be installed at the home's principal façade. The porch should be viewed as an essential element within the home's exterior.

Porch bay spacing shall be openings of equal size following window rhythm. Columns shall be likewise equally spaced or rhythmic.

Columns shall be included in porch design and match the overall theme of the home:

- Columns to be square in design. Round or ornamental columns are not permitted.
- Columns shall be painted; natural wood finishes are not permitted. Exceptions may be made provided column material is stylistically consistent with design of the home.
- Brick columns with a neutral white or grey finish may also be used. Colored brick is not permitted.
- Light colored brick may be proposed but will be reviewed for its fit within the home's overall design aesthetic.

Pilasters shall be the width of the porch beam and column neck. Pilasters shall be used when the porch is appended to the main body of the house. When porch roof is integral with the main body of the roof, pilasters are optional.



## PORCHES (CONTINUED)

Porch architrave shall align with column width and diameter, not including capital. Capital is to be expressed outbound of beam.

Porches may be enclosed with windows given 2/3 of the porch area is open or screened. All columns and porch beams to remain prominent. Enclosure shall be located a minimum of 4" inset from the column and installed in a manner that does not obscure the architectural elements that define the style of the principal architecture. All porch enclosure material shall be trim color.

Screening is permitted provided that all framing members and compositions, if visible from the street, are comparable to traditional wood framing (for example, 1x2, 2x2, 4x4, etc). The screening shall be located and installed in a manner that does not obscure the architectural elements that define the style of the principal structure.

### Porch Base

Masonry piers with ipe/sustainable teak or synthetic decking over framed floor system or masonry stem wall with mortared brick floors.

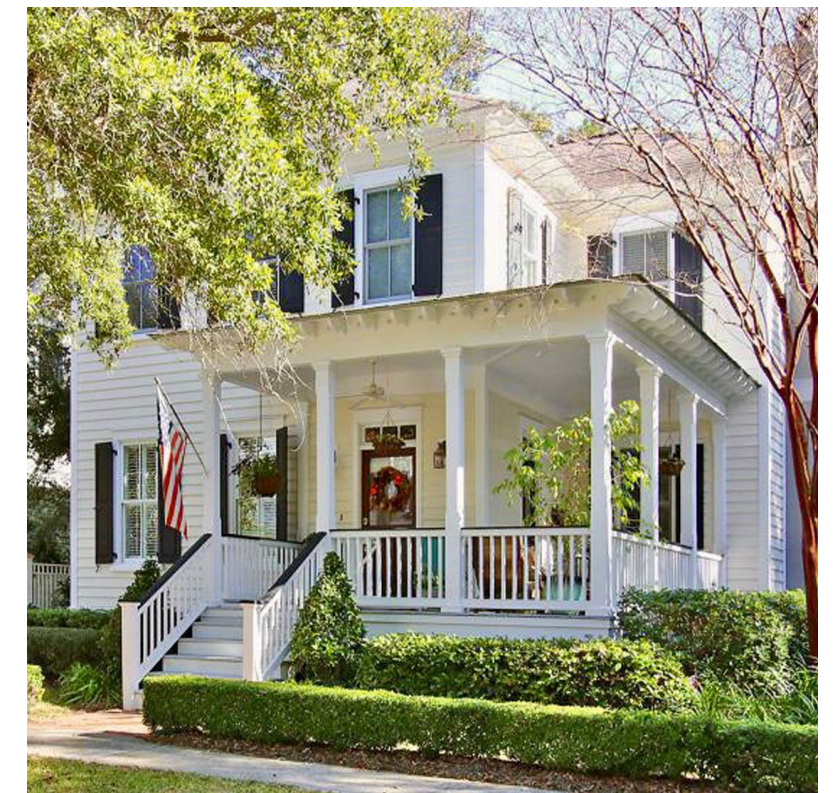
If piers are visible from the public realm, they shall be a minimum 16" x 16" in size.

The void between porch foundation piers is to be infilled with trimmed wood lattice, louvers, etc. If not enclosed by lattice or louvers, wall portion beneath porch deck – if greater than 5 feet above grade – shall have vents sized and detailed as window openings.

### Railings

Railings are encouraged but not required at porches.

- If provided, railing must be painted wood or iron, or brick posts and balustrades that blends with design of home. Ornate or decorative railings are not permitted.
- Preferred railing color is black or anodized bronze. Additional colors may be proposed and will be reviewed on case-by-case basis



## GARAGES AND DRIVEWAYS

Garages shall be constructed in materials and finishes to match or blend with home. They should not dominate the streetscape or building appearance.

The following items are preferred:

- Panels and Overlays
- Windows (with or without grilles)
- Wood Grain Finish (Natural or Painted)
- Painted Steel/Aluminum doors are required to incorporate panels
- Overly featured/ornate doors are not permitted.

### Garage Location and Size

- Minimum garage size is two-car with maximum being four-car. 3rd garage only
- Side-facing garages are preferred but not required. If garage is installed at principal façade it must take up less than 50% of total width of façade. Garages can also be set back toward the rear of the home.
- “Golf cart” single garages are permitted as a 3rd garage only

### Door Type and Size

- Segmented single door systems are preferred. Vertical roller doors are not permitted.
- Doors to be sized in correct proportion to the garage. Typical approved dimensions are 18'-0" wide by 8'-0" tall.
- “Golf Cart” garage doors to be similarly proportional. Typical approved dimensions are 9'-0" wide by 8'-0" tall.

### Driveways

Driveways shall be a hard surfaced material and extend from home to sidewalk. Driveway apron and sidewalk shall remain concrete. Preferred driveway materials are as follows:

- Vehicular rated pavers
- Pavers shall be small individual units. Large or oversized pavers and pavers spaced apart with grass or gravel infill are not permitted.
- Pavers shall be neutrally colored. Red toned bricks are prohibited.



- Concrete with decorative paver banding. Concrete to be grey with broom finish. Decorative banding shall be paver system (per requirements above)
- Paved areas must use varied materials, textures and colors to minimize the visual mass.

## POOLS

Pools must be set a minimum 10 feet from the rear property line and adhere to all other setback requirements applicable to accessory structures.

Pool deck must be setback minimum 5 feet from property line.

The following driveway materials are not accepted:

- Asphalt
- Stamped, color, or painted concrete mulches
- Grass or gravel pavers

## ENTRY DOOR STYLE

The entry door must match the building's overall aesthetic and shall face the front street. Consideration shall be taken to include or feature the door within the front porch. Doors shall consist of the following elements:

- Shall be single or double wide.
- Carved or ornamental doors are not permitted.
- Sidelights shall be a minimum of 12" in width.
- Glass panels can be included within the door or within the sidelight. Panels can be any size - 1/4 View to Full View.
- Plastic trim that acts as a glazing stop is not permitted.

- All doors to have a 2" inset from the structural plan (not casing) of the wall.

### Material and Finish

- Preferred door material is wood, but fiberglass is also permitted.
- Glazing shall be clear. Textured, frosted or colored glazing is not permitted.
- Screen doors are not permitted.



WINDOWS

‘Window design must match the building's overall aesthetic. All elevations shall contain evenly spaced windows, with major consideration applied to the principal façade.

- Secondary facade windows must match the style of the primary facade.
- Windows shall be rectangular or square shaped.

It is encouraged but not required to have expressed lintels, splayed sills/headers, or jack arches above openings in stucco walls.

**Material and Finish**

- Window color shall be Bronze or Beige. Other colors will be considered and reviewed for their contribution to the overall design of the home.
- Window glazing shall be clear. Textured, frosted or colored glazing is not permitted.
- Windows shall be solid vinyl, vinyl clad, or aluminum clad.

EXTERIOR LIGHTING

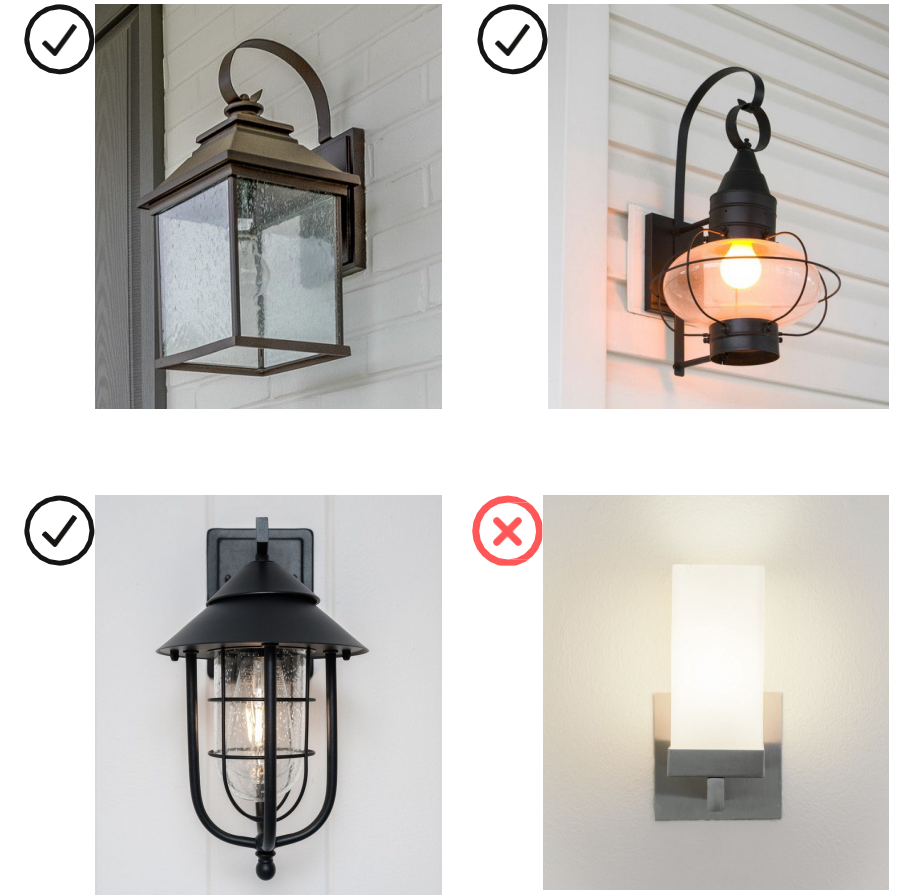
Exterior lighting shall be used to illuminate the exterior spaces of each home. Chosen fixtures shall complement the home while also providing function and security.

Fixtures shall be stylistically appropriate for the design of the home. Uplighting is strongly encouraged but not required.

- Wall fixtures shall be lantern or gooseneck type.
- Fixtures shall reduce glare and its affects on neighboring properties and roadways.
- Fixture preferred colors are Black, Dark Bronze or Copper

At minimum, lighting must be provided next to garage door stalls, and at any entry location. Additional Fixtures will be reviewed for their overall coordination with home design, such as:

- Security lighting
- Motion-sensor lighting
- Flood lights – not permitted at the front of the home.



**Ancillary Elements**

Address letters to be black, Gilroy typeface (or similar typeface specified by ARB), single-number with stand-offs for all homes. Numbers shall be a minimum of 6" in height, visible from the street, and be located per local jurisdiction requirements.

Sheds and Oversized Garages (i.e. RV and Boat Storage) is not permitted.

ARCHITECTURAL DETAILS

Trim

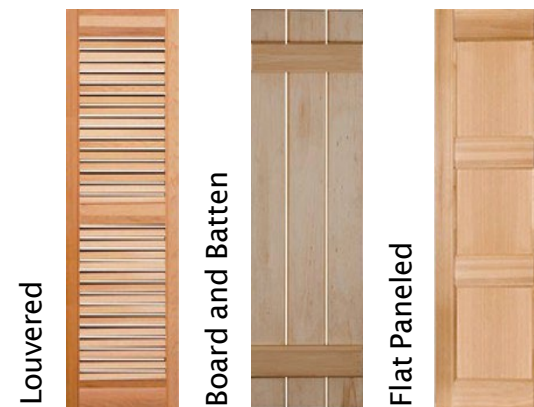
- Trim will be consistent on all sides of homes with emphasis on street-facing facades.
- Trim will be appropriate for the building style and be painted consistently.
- Architectural frieze is required. Exceptions may be made at the discretion of the ARB for homes where friezes are stylistically inconsistent.

Shutters

- Shutters shall occur in pairs, but narrow windows may contain a single shutter. Mulled windows may have a bifold shutter.
- Shutters must be operable and sized to match opening with hinges.
- Approved finishes are painted or color-stained cedar. No plastic, vinyl, or composites are permitted.
- Shutter dogs and slide bolt locking hardware are optional.

Corbels, Moulding, & Brackets

- If provided, corbels must be simple and contemporary. Ornamental corbels are prohibited.
- Corbels must extend to the back of the fascia.
- Corbels must be painted. Stained finishes are not permitted.



Shutter Styles - Shown Unpainted





## MATERIALS AND FINISHES

Homes color palettes shall reflect the contemporary rustic or coastal style:

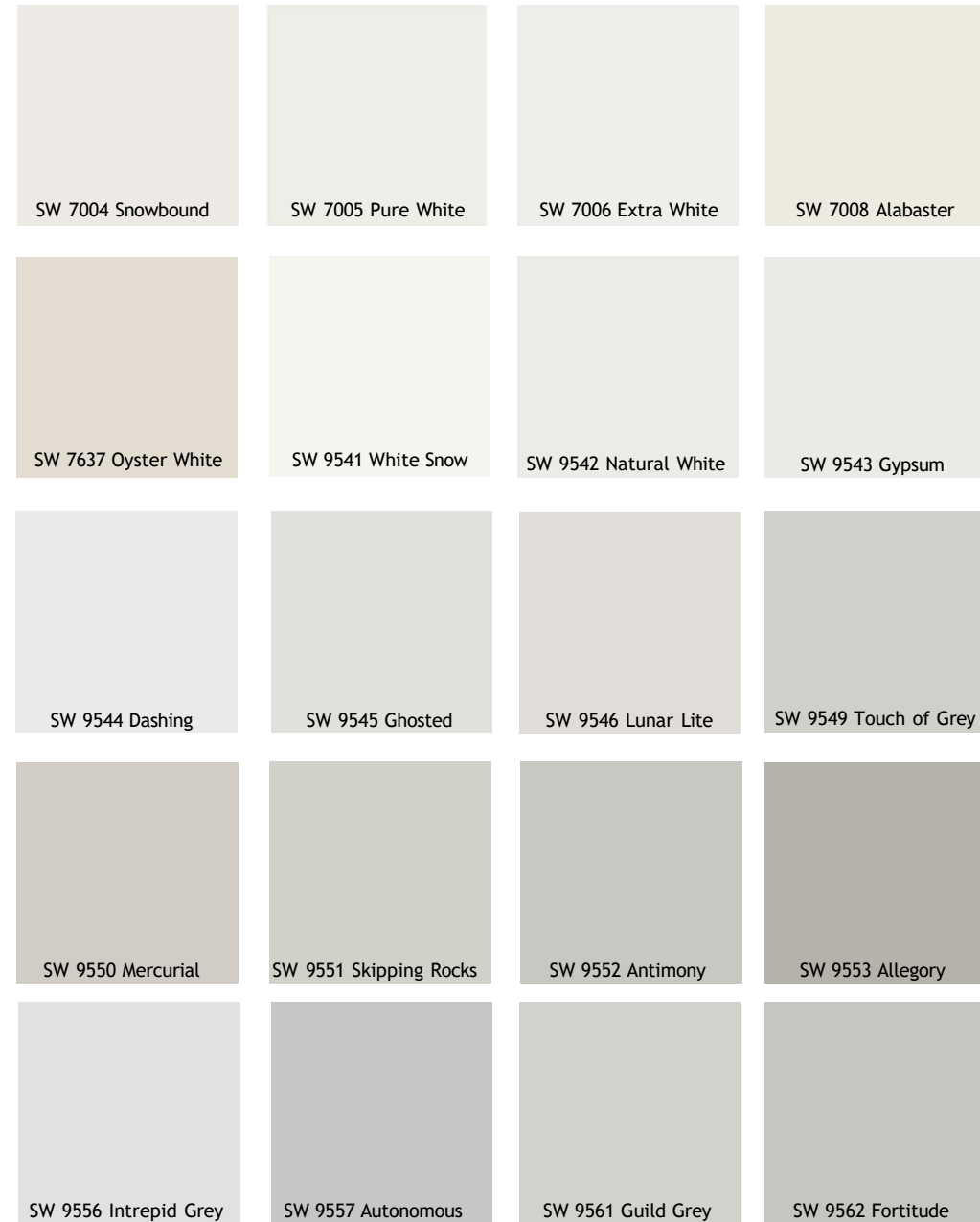
- The main color theme of the structure should be of a natural, muted shade with brighter or saturated colors used only for trim or accents.

- No more than three (3) different colors or color shades; including one (1) primary color and two (2) accent/trim colors should be used per structure.

The following categories represent the acceptable range of colors permitted for each approved exterior material type. Selections are not limited to the specific options shown but final finishes should be as close as possible to colors shown. All exterior finishes, materials, and colors are required to be reviewed and approved by the Review Board.

## PAINT

### WALL / TRIM / ACCENT OPTIONS



### COASTAL - WALL / TRIM / ACCENT OPTIONS

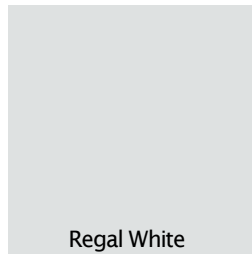


### TRIM / ACCENT ONLY OPTIONS

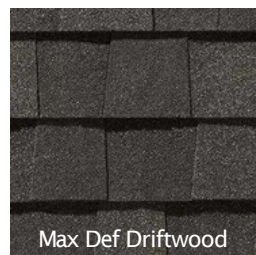


## ROOF MATERIAL AND COLORS

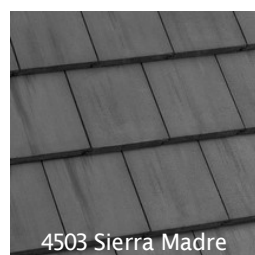
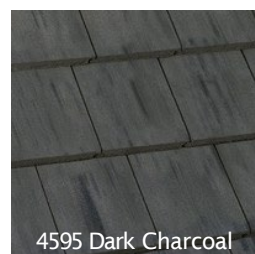
### Standing Seam



### Asphalt Shingles



### Composite Shingles



### EPS Bermuda Roof Tile



No 3 Tab Shingles are permitted. A minimum 25 year warranty for architectural shingles is required.

Colors similar to those listed above may be permitted at the discretion of the ARB.

## NATURAL MATERIALS - STONE / BRICK / WOOD

### Stacked Stone



Chapel Hill



Dark Rundle

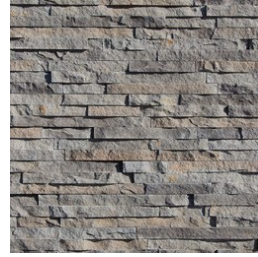


Silver Lining

### European Ledge



Sea Cliff



Zinc

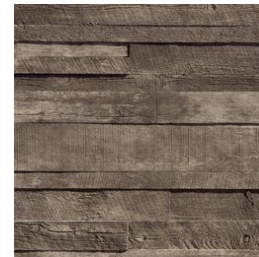
### Vintage Ranch



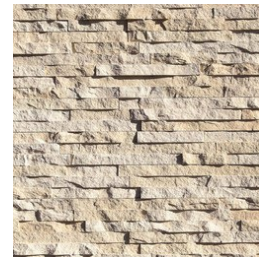
Stratuswood



Saddlewood



Parchwood



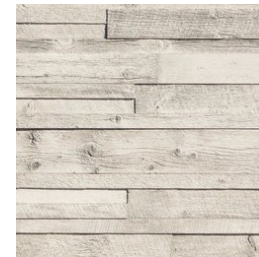
Linen



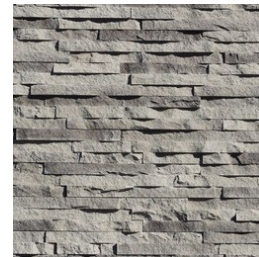
Glacier



Foxwood



Doverwood



Sidewalk



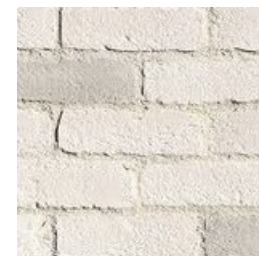
Cottonwood

All stone and brick shall utilize matching caps or wainscots.

### Tundrabrick



Ashland

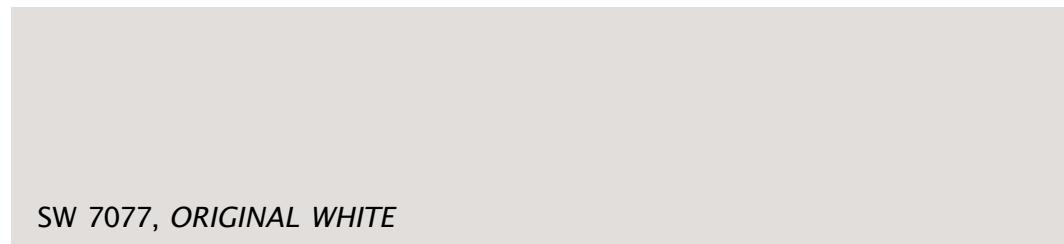


Chalk Dust

“CONTEMPORARY  
RUSTIC”

Sample Color Palette

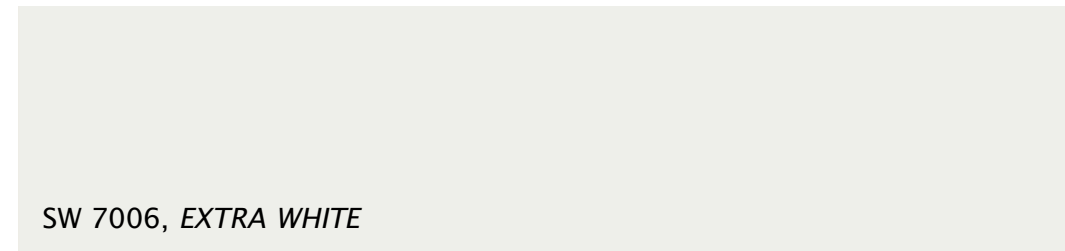
Walls | Trims | Accents



“CONTEMPORARY  
COASTAL”

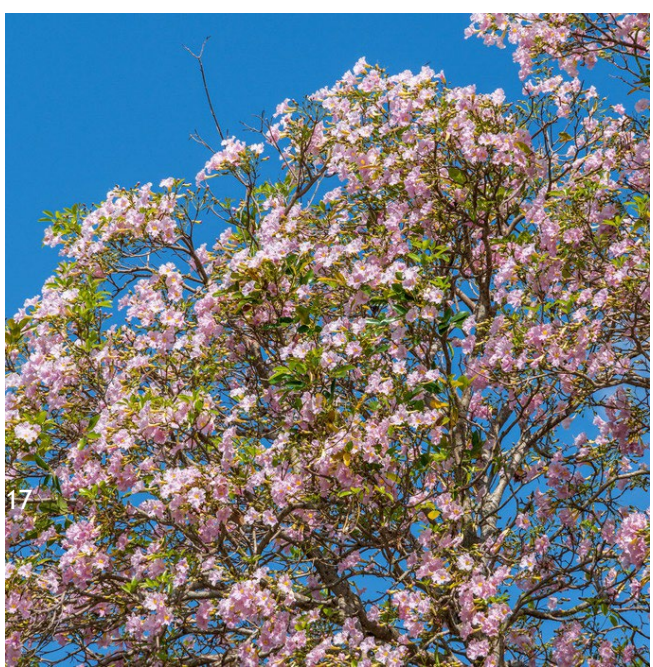
Sample Color Palette

Walls | Trims | Accents





# LANDSCAPING



The Grove community's vision places a strong emphasis on the quality of landscaped parks and streetscapes. Choosing the right design, materials, and plants for the streetscape plays a crucial role in creating the neighborhood's overall character, enhancing the appearance, and increasing the value of your home. All vegetation within a lot is required to be approved by the Review Board. The following elements shall be incorporated at the primary facade and any street or public area facing secondary facades:

- Minimum of (#) canopy trees must be installed at the front of the home.
- Lawn grasses shall be St Augustine varieties and be installed at no more than ##% of landscaped areas.
- Foundation plantings and plant beds are required and shall include plant hierarchies to optimize shade, screening, ventilation, and security. All plant areas to be edged and mulched. Acceptable edging is required to be paver, metal, wood, or trimmed lawns. Plastic, composite, or rubber edging is not permitted.
- A hardscaped pathway to entry door is required.
- Synthetic grass and rock/pebble beds are not permitted.
- Irrigation systems are encouraged.
- All ventilation units, utility meters and equipment, and any other required equipment shall be screened from view. This includes all types of trash containers. Screening shall be done by landscaping or fencing.
- Masonry site walls to match house. May be combination of iron or pickets with masonry.

PLANT SELECTIONS

Groundcovers:

Lily of the Nile  
 Emerald goddess  
 Liriope Blue Daze  
 Emerald  
 Blanket  
 Coontie  
 Florida  
 Gammagrass  
 Muhly Grass  
 Mrs. Schiller's  
 Delight Viburnum  
 Indian Hawthorn  
 Dwarf Yaupon  
 Holly

Hedges:

Walter's Viburnum  
 Podocarpus  
 Gold Mound  
 Dwarf Burford Holly  
 Thryallis

Small Trees:

Little Gem  
 Magnolia  
 Crape Myrtle  
 Japanese  
 Blueberry Pink  
 Trumpet  
 Majestic Beauty  
 Hawthorn

FENCING

Per section 4.6.2, of the Town of Oakland's Land Development Code, fencing shall be installed as follows:

- Side and Rear Yards: All fences or walls erected within side or rear yard setbacks shall be limited to 6 feet in height.
- Street Side Yards: (Corner Lots) Fences and walls forward of the front building line shall be 4 feet in height and may be constructed on the property line. Alternatively, a fence or wall may be 6 feet in height but must be setback 5 feet from the property line and be landscaped with hedge or vine materials.

Design and Material

- Custom wrought iron living fences must be fully planted. Aluminum type picket fences are permitted but must be screened with hedges and include no exposed fastenings.
- Fence material to be aluminum. No wood is permitted.
- Fences must be screened with hedges and include no exposed fastenings.
- Frontage walls or fences that compliment the public realm and the home shall be a maximum of 3 feet tall.
- Equipment installed within 5 feet of the property edge must be concealed with site walls extending a minimum of 3 feet above grade. Landscaping can be used as a substitute pending board approval.
- Top of fencing and walls must be level.

